

AM Design.
FAO: Andrew Millar
88 Newhailes Crescent
Musselburgh
EH21 6EG

Mr Devlin
18 Inverleith Gardens
Edinburgh
EH3 5PS

Decision date: 1 March 2022

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013

Permission is sought to remove a section of the existing rear walls and construct a single storey extension.

At 18 Inverleith Gardens Edinburgh EH3 5PS

Application No: 21/05790/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 1 November 2021, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. The proposal is contrary to Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 as the alterations would not preserve the character of the listed building or the character or appearance of the conservation area.
2. The proposal is contrary to the Local Development Plan Policy Env 6 in respect of Conservation Areas - Development, as the proposal would be detrimental to the character and appearance of the host property and conservation area.
3. The proposal is contrary to the Local Development Plan Policy Env 4 in respect of Listed Buildings - Alterations and Extensions, as the alterations would adversely affect the character of the listed building.

4. The proposals are contrary to development plan policy on extensions and alterations as interpreted using the non-statutory Guidance for Householders as they will impact on the character of the existing building and will detrimental to neighbouring amenity.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01-04, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposals have an adverse impact on the character of the listed building and character and appearance of the conservation area, contrary to Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and Edinburgh Local Development Plan policies Env 4, Env 6 and Des 12.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Weronika Myslowiecka directly at weronika.myslowiecka@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

**Application for Planning Permission
18 Inverleith Gardens, Edinburgh, EH3 5PS**

Proposal: Permission is sought to remove a section of the existing rear walls and construct a single storey extension.

**Item – Local Delegated Decision
Application Number – 21/05790/FUL
Ward – B05 - Inverleith**

Recommendation

It is recommended that this application be **Refused** subject to the details below.

Summary

The proposals have an adverse impact on the character of the listed building and character and appearance of the conservation area, contrary to Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and Edinburgh Local Development Plan policies Env 4, Env 6 and Des 12.

SECTION A – Application Background

Site Description

Mid-terrace property forming part of a terrace of Free-Jacobean 2-storey and attic terrace block, designed Sir Rowand Anderson c.1897-1900. It is category B listed, listed 29 April 1977, LB Ref 29145. The site is located within Inverleith Conservation Area

Description Of The Proposal

The application proposes to remove an existing rear wall and construct a single storey extension.

Relevant Site History

21/03053/FUL
Single-storey extension to rear.
withdrawn

23 August 2021

Consultation Engagement

No Consultations.

Publicity and Public Engagement

Date of Neighbour Notification: 3 November 2021

Date of Advertisement: 12 November 2021

Date of Site Notice: 12 November 2021

Number of Contributors: 4

Section B - Assessment

Determining Issues

Due to the proposals relating to a listed building(s) and being within a conservation area, this report will first consider the proposals in terms of Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (the "1997 Heritage Act"):

- a) Is there a strong presumption against granting planning permission due to the proposals:
 - (i) harming the listed building or its setting? or
 - (ii) conflicting with the objective of preserving or enhancing the character or appearance of the conservation area?

- b) If the strong presumption against granting planning permission is engaged, are there any significant public interest advantages of the development which can only be delivered at the scheme's proposed location that are sufficient to outweigh it?

This report will then consider the proposed development under Sections 25 and 37 of the Town and Country Planning (Scotland) Act 1997 (the 1997 Act):

If the proposal is in accordance with the development plan the determination should be to grant planning permission unless material considerations indicate otherwise?

If the proposal is not in accordance with the development plan the determination should be refuse planning permission unless material considerations indicate otherwise?

In the assessment of material considerations this report will consider:

- the Scottish Planning Policy presumption in favour of sustainable development, which is a significant material consideration due to the development plan being over 5 years old;
- equalities and human rights;
- public representations; and
- any other identified material considerations.

Assessment

To address these determining issues, it needs to be considered whether:

a) The proposals harm the listed building and its setting?

The following HES guidance is relevant in the determination of this application:

- Managing Change : Extension
- Managing Change: Guidance on Conservation Areas

Historic Environment Scotland's guidance note 'Managing Change in the Historic Environment: Extensions', sets out the principles that apply to altering historic buildings. It states that '*an addition or extension should play a subordinate role. It should not dominate the original building as a result of its scale, materials or location*' and that '*an extension should be modestly scaled and skilfully sited*'.

The non-statutory 'Listed Buildings and Conservation Areas' also states:

It is usually acceptable for an addition to be different and distinguishable from the existing building, in terms of design. The use of high-quality materials which complement the main building will be required. In other circumstances it may be appropriate to match the new work to the existing, in which case the new materials should be carefully matched. The visual separation of extensions is encouraged.

It also states that *extensions will not be permitted on terraces where there are no existing extensions. Where acceptable, these should be subservient to the main building and should not normally exceed 50% of the elevation.*

The proposed scale and materials of the new extension will dominate the design qualities of the original building and it will not provide a positive deferential or assertive contrast to the building.

The new extension will have a depth of 6.6 metres and would project 1.8 metres further than an existing outbuilding line; failing to have regards to the asymmetric design qualities that contributes to the architectural interests of the building. Additionally, the proposal by its uneven size will change the outlook of the original outbuilding that is located at the rear.

It would significantly obscure the lower storey of the rear elevation and would cover approximately 78% of the width of the rear elevation leaving only a small area of the original rear elevation. The extension therefore forms an over-dominant feature which has an impact on the setting of the original building.

The design of the proposed extension does not preserve the listed building which is a series of two storey terraced residential properties where there are single story shared outbuildings to the rear that are characterised by its hipped roofs. Instead, the proposals harm the character and setting of listed building and there is therefore a statutory presumption against consent being granted.

The applicants have put forward in their supporting design statement that the similar extensions were constructed. It has been acknowledged that many of the properties have been extended in some way, but the majority have retained the clear shape of the extension and do not cover over 50% of the rear. In addition, the proposal comes

forward of the original outbuilding line which will completely change the outbuilding structure.

Conclusion in relation to the listed building

The proposals do not comply with the objectives of LDP policy Env 4 and are contrary to the Historic Environment Policy for Scotland and HES Managing Change guidance.

b) The proposals harm the character or appearance of the conservation area?

Section 64(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 which states:

"In exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."

LDP Policy Env 6 (Conservation Areas - Development) states that development within a conservation area will be permitted which preserves or enhances the special character or appearance of the conservation area and is consistent with the relevant conservation area character appraisal and demonstrates high standards of design and utilises materials appropriate to the historic environment.

The Inverleith Conservation Area Character Appraisal emphasises the predominance of Georgian, Victorian and Edwardian villas and terraces which form boundaries to extensive blocks of public and private open space. The villa streets are complemented by a profusion of mature trees, extensive garden settings, stone boundary walls and spacious roads. The villas are in a considerable variety of architectural styles, unified by the use of local building materials.

The proposed alterations affect the rear elevation which is not visible from public viewpoints. However, the extension of the original outshot and the length of the extension would not be in keeping with character of the terrace and the area as a whole in terms of maintaining regularity.

Conclusion in relation to the conservation area

The application is therefore contrary to Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and LDP Policy Env 6.

c) The proposals comply with the development plan?

The development plan comprises the Strategic and Local Development Plans. The relevant Edinburgh Local Development Plan 2016 (LDP) policies to be considered are:

- LDP Environment policies Env 4 and Env 6
- LDP Alterations and Extensions Des 12

The non-statutory 'Listed Buildings and Conservation Area' guidance is a material consideration that is relevant when considering policies Env 4 and Env 6.

Scale, design and materials

LDP Policy Des 12 (Alterations and Extensions) of the adopted Edinburgh Local Development Plan states that planning permission will be granted for alterations and extensions to existing buildings which 'in their design and form, choice of materials and positioning are compatible with the character of the existing building and will not be detrimental to neighbourhood amenity and character'.

In relation to the proposed rear extension within the rear garden, this would represent an incongruous addition in that it would introduce an overbearing degree of larger extension that projects over the original semi-paired outshoot, which would be detrimental of the application site and the character and appearance of the surrounding conservation area.

In addition, proposed smooth render materials would also be unacceptable in this context.

Residential Amenity

The proposed alterations could have a significant impact on neighbouring window of an existing outshot. However, the additional drawings have not been submitted in order to fully assessed the impact on daylight to neighbouring window.

Conclusion in relation to the Development Plan

The proposals do not comply with Local Development Plan Policy Des 12, Policy Env 4, Policy Env 6 and the non-statutory Guidance for Householders.

d) There are any other material considerations which must be addressed?

The following material planning considerations have been identified:

SPP - Sustainable development

Scottish Planning Policy (SPP) is a significant material consideration due to the LDP being over 5 years old. Paragraph 28 of SPP gives a presumption in favour of development which contributes to sustainable development. Paragraph 29 outlines the thirteen principles which should guide the assessment of sustainable development.

The proposal does not complies with Paragraph 29 of SPP.

Emerging policy context

The Draft National Planning Framework 4 is being consulted on at present and has not been adopted. As such, little weight can be attached to it as a material consideration in the determination of this application.

While City Plan 2030 represents the settled will of the Council, it has not yet been submitted to Scottish Ministers for examination. As such, little weight can be attached to it as a material consideration in the determination of this application.

Equalities and human rights

Due regard has been given to section 149 of the Equalities Act 2010. No impacts have been identified.

Consideration has been given to human rights. No impacts have been identified through the assessment and no comments have been received in relation to human rights.

Public representations

A summary of the representations is provided below:

material considerations

- Outshoot should remain unaltered.
- Loss of daylight.
- Change the character and setting of a listed building
- Drainage issue
- Covers more than 50% of the rear elevation
- It will disturb rhythm of paired outshot

All of those comments have been assessed in the section a-c of the report.

non-material considerations

- Set precedence - There is no precedent in planning as each application is considered on its own merits;

A revision was discussed with the architect and applicants to amend the design and to prevent any potential daylight to neighbouring window, however, this was rejected.

Overall conclusion

The proposals have an adverse impact on the character of the listed building and character and appearance of the conservation area, contrary to Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and Edinburgh Local Development Plan policies Env 4, Env 6 and Des 12.

Section C - Conditions/Reasons/Informatives

The recommendation is subject to the following;

Reasons

1. The proposal is contrary to Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 as the alterations would not preserve the character of the listed building or the character or appearance of the conservation area.

2. The proposal is contrary to the Local Development Plan Policy Env 6 in respect of Conservation Areas - Development, as the proposal would be detrimental to the character and appearance of the host property and conservation area.
3. The proposal is contrary to the Local Development Plan Policy Env 4 in respect of Listed Buildings - Alterations and Extensions, as the alterations would adversely affect the character of the listed building.
4. The proposals are contrary to development plan policy on extensions and alterations as interpreted using the non-statutory Guidance for Householders as they will impact on the character of the existing building and will detrimental to neighbouring amenity.

Background Reading/External References

To view details of the application go to the [Planning Portal](#)

Further Information - [Local Development Plan](#)

Date Registered: 1 November 2021

Drawing Numbers/Scheme

01-04

Scheme 1

David Givan
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Weronika Myslowiecka, Planning Officer
E-mail: veronika.myslowiecka@edinburgh.gov.uk

Appendix 1

Consultations

No consultations undertaken.

Comments for Planning Application 21/05790/FUL

Application Summary

Application Number: 21/05790/FUL

Address: 18 Inverleith Gardens Edinburgh EH3 5PS

Proposal: Permission is sought to remove a section of the existing rear walls and construct a single storey extension.

Case Officer: Householder Team

Customer Details

Name: Mr Frank PERRY

Address: 15 Inverleith Gardens Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We refer to the neighbour notification of 3 November 2021 about Planning Application 21/05790/FUL for 18 Inverleith Gardens EH3 5PS "...remove a section of the existing rear walls and construct a single storey extension".

It is noted that No.18 is a 7-apartment 3-storey mid-terrace house - part of the statutorily listed row of thirteen houses at Nos. 9 to 21 Inverleith Gardens, and that the main changes as now proposed would increase the length & width & wallhead height of its existing rear outshot building.

We write to object to these changes as proposed - in principle & in detail, to give reasons, and to indicate acceptable modifications.

1] We request that the altered outshot should NOT be extended southwards for some 1.9metres along and against the garden's east boundary wall mutual with No. 17 - and that INSTEAD for an east-west distance of not less than 0.5metre from that boundary No.18's outshot should remain unaltered (except for the addition of a rainwater downpipe), aligned with and keeping the same wallhead/gutter c2.6metre height as No.17's.

(REASONS: (a) to allow all related construction & future maintenance work to take place entirely from within No.18's feu; and (b) for fire-resistance purposes.)

2] Further, we request also that the remainder of the altered outshot's wallhead/gutter profile and height should match what exists, and should be continuous with those at No. 17's outshot.

(REASONS: (c) Relevant precedents are the outshot alterations already carried out at Nos. 11 & 14 Inverleith Gardens: at the former the new outshot matches the wallhead/gutter height of its back-to-back neighbour, and maintains daylight to the living room's existing window; at the latter

the new outshot matches the neighbour's north-south length as well as continuing the existing wallhead/gutter profile and height.)

Architect Rowand Anderson's original design for these terraced houses on narrow feus is subtler than might at first appear - e.g. by achieving privacy and amenity at the back garden side of each dwelling. Any changes should preserve rather than detract from those qualities, and avoid setting contrary precedents.

Frank Perry FRIAS for F. and E.A. Perry

Comments for Planning Application 21/05790/FUL

Application Summary

Application Number: 21/05790/FUL

Address: 18 Inverleith Gardens Edinburgh EH3 5PS

Proposal: Permission is sought to remove a section of the existing rear walls and construct a single storey extension.

Case Officer: Householder Team

Customer Details

Name: Mrs Martha Mason

Address: 17 Inverleith Gardens Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This comment relates to the changes to the existing drainage arrangements. The planned extension will change the character and setting of a listed building. The supporting statement shows a picture of the existing structure. This shows that the guttering of numbers 17 and 18 share a single down pipe situated on the southwest corner of number 18. The proposed extension to number 18 would result in the removal of the guttering on that property. The result is that the runoff into the guttering of number 17 would not be drained. The proposed plan does not retain this design element of the original setting.

Comments for Planning Application 21/05790/FUL

Application Summary

Application Number: 21/05790/FUL

Address: 18 Inverleith Gardens Edinburgh EH3 5PS

Proposal: Permission is sought to remove a section of the existing rear walls and construct a single storey extension.

Case Officer: Householder Team

Customer Details

Name: Dr The Architectural Heritage Society of Scotland

Address: 15 Rutland Square, Edinburgh EH1 2BE

Comment Details

Commenter Type: Amenity Body

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The AHSS Forth & Borders Cases Panel objects to this extension, which remains significantly in excess of Edinburgh's permitted maximum of 50% of the rear elevation width. The proposals would dominate the garden elevation, to the detriment of the listed house and its run of neighbours, which retain the rhythm of their paired outshot.

While the rear of this terrace of B-listed Rowand Anderson houses is not as distinctive as the front, it forms a consistent and characterful elevation, where the rear outshots act as a foil to the higher rear façades. The application implies that only the façade is listed, but this demonstrates a misunderstanding of listed buildings in Scotland: all of the building is listed, excepting any elements specifically excluded. Hence here the outshot, rear elevation, and interior is all protected by a B-listing.

This proposed extension fills most of the width of the property, and its design is somewhat bulky and high at roof level, in contrast to the neater treatment of the extension at number 9, which helps minimise its impact on the property. The basic, functional finish of the proposed extension does not aid its relationship with the main house, but is not objectionable in itself.

The proposed slapping would remove in excess of half the original rear wall at ground floor level, and excessive loss of historic fabric, and the extension should make use of the existing openings to minimise this loss.

There remains a lack of information on the present dining room, which may possess significant internal detailing that would be compromised by this proposal, and this should be included in the LBC application required by these alterations.

We therefore object to this proposal.

Comments for Planning Application 21/05790/FUL

Application Summary

Application Number: 21/05790/FUL

Address: 18 Inverleith Gardens Edinburgh EH3 5PS

Proposal: Permission is sought to remove a section of the existing rear walls and construct a single storey extension.

Case Officer: Householder Team

Customer Details

Name: Mrs Anne Macqueen

Address: 16 Inverleith Gardens Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am writing to object to this planned extension for several reasons.

The height of the front of the new extension will be higher than the gutter at the end of the original roof of the outshot/scullery. This will have an adverse effect on rainwater drainage at number 17. This will also change the original design of the roof of the outshot which is part of a Listed Building.

The east side wall should be at a distance to allow any work or repairs to be carried out in the garden of number 18 and not number 17.

The length of the extension to the south and height to the west may reduce light and outlook to number 17.

The extensions at numbers 11 and 14 are a sympathetic precedent to the alterations of these Listed Buildings.



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100560916-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="AM Design"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="Andrew"/>	Building Name:	<input type="text"/>
Last Name: *	<input type="text" value="Millar"/>	Building Number:	<input type="text" value="88"/>
Telephone Number: *	<input type="text" value="07793816019"/>	Address 1 (Street): *	<input type="text" value="Newhailes Crescent"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Musselburgh"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
		Postcode: *	<input type="text" value="EH21 6EG"/>
Email Address: *	<input type="text" value="amdesign@live.co.uk"/>		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="David"/>	Building Number:	<input type="text" value="18"/>
Last Name: *	<input type="text" value="Devlin"/>	Address 1 (Street): *	<input type="text" value="Inverleith Gardens"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="EH3 5PS"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="18 INVERLEITH GARDENS"/>
Address 2:	<input type="text" value="CRAIGLEITH"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH3 5PS"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="675979"/>	Easting	<input type="text" value="324494"/>
----------	-------------------------------------	---------	-------------------------------------

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Permission is sought to remove a section of the existing rear walls and construct a single storey extension at 18 Inverleith Gardens Edinburgh EH3 5PS

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see attached Appeal Statement uploaded as a supporting document

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Appeal Statement - 18 Inverleith Gardens 21.27 Supporting Statement 21.27 - A01 21.27 - A02 21.27 - A03

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/05790/FUL

What date was the application submitted to the planning authority? *

03/11/2021

What date was the decision issued by the planning authority? *

01/03/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The property is mid terrace. There is an access gate at the end of Inverleith Avenue which can be used to access the rear garden at 18 Inverleith Gardens.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Andrew Millar

Declaration Date: 04/05/2022

[Type here]

APPEAL STATEMENT – 18 INVERLEITH GARDENS

This Statement links to a pair of applications for planning permission, 21/03053/FUL - which was withdrawn, and 21/05790/FUL - which was recently refused under delegated powers by the City of Edinburgh Council's planning officers.

Background:

We were approached by the owner of 18 Inverleith Gardens, requesting the design of an extension comparable to those which had previously been granted consent in neighbouring properties at 9 and 10 Inverleith Gardens.

An initial search of both the Council and Historic Scotland's databases showed that No. 18 was not included in the listed status that applied to the remainder of the terrace. As such, an application (21/03053/FUL) was submitted for an extension, that was larger than would have been allowed, were the building listed.

The planning officer appointed to the application made contact to inform us that there had been an error on both websites and that the property was indeed listed. He advised the original application be withdrawn and a revised scheme submitted. Under his guidance, the amended plans would seek to provide the extra space required by my client, whilst protecting the special interest of the property.

Several conversations were had / amended layouts discussed, taking due cognisance of the previous approvals at 9 and 10 Inverleith Gardens (both these schemes are complete and sit comfortably on the building). The planning officer indicated that our revised plans appeared to be uncontroversial, given the precedent set by the neighbouring properties, and an application for planning approval was then submitted (21/05790/FUL).

This revised application was assigned to a different planning officer, who requested a video meeting (including the client) to discuss the proposals. During this meeting, we were told that the Edinburgh Council planning department could not support the application in its current form, despite having discussed the proposals at length with the previous officer and similar applications being approved on the neighbouring schemes. We were therefore disappointed and embarrassed (in relation to our position with the client) when the revised scheme was refused.

Listing of the Building:

The terrace (9 to 21) forms part of Ferry Road in the Inverleith area. It was designed by the office of Sir Robert Rowand Anderson and completed in 1900. The main building is in red sandstone in a Free Jacobean style, with a well-designed frontage, which lifts this two storey and attic terrace to listable quality. The terrace was listed category B on 29 April 1977 reference no.29145. As noted above, the listing of No.18 Inverleith Gardens was not shown on either Edinburgh Council's or Historic Scotland's database. We understand that this has subsequently been rectified.

The HES description notes that the property is B-listed, but is listed as part of a larger group (Numbers 9 to 21 Inverleith Gardens) and it is retention of the integrity of the group that is the main concern of Historic Scotland. The schedule which refers to the group, focusses upon the frontage and its materials. There is no mention of the interior or the rear (noting that only the most eastwardly houses are visible from the road to the east). There is no mention of the outhouses, or their pattern, nor of their separate (brick) construction.

[Type here]

The "Statement of Special Interest" simply compares the terraces to other Rowand Anderson and George Washington Browne schemes, notably Hermitage Terrace (in Morningside). This would appear to focus on townscape value, as a "set piece".

As the proposal is an alteration to the rear of the property, we believed that a well-designed sympathetic extension could be undertaken.

Advice from Historic Scotland's website confirms that:

"listing a building does not prevent it changing or developing, but it does mean that consideration has to be given to preserving its character. Any proposals to demolish, or to alter or extend a listed building in a way which would affect the character, must be granted listed building consent before it can proceed".

Using advice offered by Historic Scotland / the Inverleith Conservation Area Character Appraisal, guidance from the original planning officer and the approvals previously granted to the neighbouring properties at 9 and 10 Inverleith Gardens, a suitable thought-out design was prepared for No. 18 and submitted for approval.

Council Report of Handling

The Council's report appears rushed and has over-looked several considerations.

The site description does not mention the outbuilding to the rear or the existing materials.

The proposal description is simplistic and fails to mention that the outbuilding hipped roof will largely remain, with a new flat roof formed around it. There is also no mention of the materials to be used or that an existing window and section of stonework would be removed to access the new extension.

Under relevant site history, the Council fails to note why the original application (21/03053/FUL) was withdrawn. It also underplays (if not ignores) other relevant history relating to the pre-existing extensions on the neighbouring properties at 9 and 10 Inverleith Gardens, and other alterations on the back of the listed terrace.

In the Assessment, the report states that:

"the proposed scale and materials of the new extension will dominate the design qualities of the original building and it will not provide a positive deferential or assertive contrast to the building".

And goes on to say:

"It would significantly obscure the lower storey of the rear elevation and would cover approximately 78% of the width of the rear elevation leaving only a small area of the original rear elevation. The extension therefore forms an over-dominant feature which has an impact on the setting of the original building."

Taking the lower storey of the rear elevation in isolation, we do not contest that the southmost part of the extension covers 4.6m of the 6m width (77%) between the boundary walls. However, the Assessment does not explain (or chooses to ignore) that the extension would only cover 66% of the building width at that level - where it connects to the house. At the point where the extension joins the house it is recessed, we therefore view that the report overstates the impact of the extension on the original rear elevation lower level.

Referring to the building as a whole, the existing rear elevation has an area of circa 60m², including the existing outbuilding. The proposed extension will cover an area of approx. 12.2m²

[Type here]

(or 20%) at the point where it connects to the house, with the vast majority of the property's features being retained. By comparison, the existing outbuilding covers approximately 7.6m² (or 12%) of the rear elevation. As such, we feel that this increase in covered area would not constitute the proposed extension 'dominating' the design qualities or 'over dominating' the original building.

The assessment also fails to consider the existing rear extensions at 9 and 10 Inverleith Gardens, which currently cover a similar extent of the rear elevation. The extension at 9 Inverleith Gardens also has a recess, where it connects to the [house](#), helping to mitigate its impact on the property.

The report continues by stating:

"The new extension will have a depth of 6.6 metres and would project 1.8 metres further than an existing outbuilding line; failing to have regards to the asymmetric design qualities that contributes to the architectural interests of the building. Additionally, the proposal by its uneven size will change the outlook of the original outbuilding that is located at the rear"

We assume that the Council was intending to refer to the 'symmetric' design qualities in this section of the report, and that 'asymmetric' is a typing error.

It appears that the Council has chosen to ignore the approved scheme for 9 Inverleith Gardens which projected 2.4m beyond the line of the adjacent existing brick outbuilding. The subsequent design at 10 Inverleith Gardens, also extends out further than the 1.8m shown on our proposals. The approvals at 9 and 10 whilst similar in depth, are different widths and set at unequal heights, therefore having an uneven and asymmetric appearance. The extension at 19 also forms an asymmetric roof with the neighbouring property. These attributes do not appear to have been an issue when those extensions were granted. Both approvals (at No.9 and No.10) state they would have no adverse impact on the property's character or appearance, which seems at odds with the assertion that the smaller extension at No. 18 Inverleith Gardens would have. While it is not clear how unevenness or asymmetry is objectively measured, it is obvious that our proposal is no different from the approved extensions at 9 and 10 Inverleith Gardens, thus undermining the Council's position in initially justifying refusal.

The Council notes the proposed extension will not *"provide a positive deferential or assertive contrast to the building"* - we would ascertain that this could be argued either way.

Under the guidance of the original planning officer, the proposed roof outlined in planning application 21/03053/FUL (withdrawn) was vastly reduced in scope, so that a large majority of the existing slate roof, covering the rear outbuilding was retained. Smooth white render was also discussed for the new extension walls, as this was approved on the planning application at 19 Inverleith Gardens (ref: 08/02340/FUL). By using white render for the extension at 18 Inverleith Gardens, it would mirror the approval of the neighbouring property

No mention is made in the report regarding the existing brickwork in relation to the main building, fabricated completely from stone. Replacing this poor quality brickwork (which falls far short of the standard set by the rest of the building) with fresh white rendered masonry (as used in other similarly listed buildings), it will provide a homogeneity with the existing white painted brick outbuildings of the terrace, thus being respectful to its surroundings.

The use of a modern single ply rubber roof membrane (utilising hidden gutter detailing) complimented by high quality aluminium soffits / fascia's, downpipes and corner cladding with corresponding Aluminium sliding doors into the rear garden, adds to the contemporary style of the extension - providing an *'assertive contrast'* to the stonework of the original building.

[Type here]

The report states that:

"The design of the proposed extension does not preserve the listed building which is a series of two storey terraced residential properties where there are single story shared outbuildings to the rear that are characterised by its hipped roofs. Instead, the proposals harm the character and setting of listed building and there is therefore a statutory presumption against consent being granted."

As noted previously, the listed status applies to the group of properties at 9 to 21 Inverleith Gardens and focusses upon the frontage and its materials. There is no mention of the interior or the rear (noting only the most eastwardly houses being visible from the road to the east). There is also no mention of the outhouses, or their pattern, hipped roof profile, nor of their separate (brick) construction. The properties also extend to three stories on the rear.

Whilst the walls of the brick outbuilding are wholly removed (apart from its party wall with No.17) the hipped roof over largely remains. There is no assessment of the importance of this brickwork in relation to what is otherwise a stone building, nor is there any assessment of the harm which would ensue from its removal. Equivalent removals and reductions in roof area have already been permitted on the terrace as a whole (and are regularly agreed on other listed buildings). It is not clarified within the assessment why the rear at No. 18 must be preserved, whereas other rears were acceptable to be built over.

The report mentions the "setting" of the listed building is also harmed. However, the policy on setting (Env 3) is not cited. The report seems to misunderstand the concept of setting, which would never normally include a view from a private garden (even were this view worsened - which it is not).

The assessment notes:

"The applicants have put forward in their supporting design statement that the similar extensions were constructed. It has been acknowledged that many of the properties have been extended in some way, but the majority have retained the clear shape of the extension and do not cover over 50% of the rear."

The Council fails to clarify what is meant by "clear shape of the extension". The proposals at Number 18 Inverleith Gardens show an extension that is similar in shape to the existing outbuildings (albeit larger in size) and similar to the approved extensions at Numbers 9 and 10 Inverleith Gardens. We would also contend that the council underplays its comments, as most of the 'habitable' extensions on the terrace have exceeded 50% coverage of the rear (at lower level). Both extensions at Numbers 9 and 10 have a greater coverage than what is proposed at Number 18, whilst the remaining extensions on the terrace (for storage etc) are not comparable to what was being proposed on our application. Notably, where the extension of 10 Inverleith Gardens meets the main building, it covers a greater proportion of the rear of the main building than the proposed plans for 18 Inverleith Gardens.

In relation to the proposals for the Conversation area, the assessment states:

"The proposed alterations affect the rear elevation which is not visible from public viewpoints. However, the extension of the original outshot and the length of the extension would not be in keeping with character of the terrace and the area as a whole in terms of maintaining regularity"

The assessment fails to comment upon the character of the conservation area in relation to existence of rear extensions within the wider area. Rear extensions form part of the existing character. This omission is perhaps deliberate as it undermines the Council's position. As they have noted, the proposed extension is not visible from any public viewpoint hence it will have no or at most minimal impact upon the character and appearance of the Conservation Area.

[Type here]

We note that the aforementioned extensions at Numbers 9 and 10 Inverleith Gardens do have a public view, albeit only from the south-most end of the adjacent cul-de-sac, Inverleith Avenue, yet both were approved.

The assessment goes on to state:

"In relation to the proposed rear extension within the rear garden, this would represent an incongruous addition in that it would introduce an overbearing degree of larger extension that projects over the original semi-paired outshoot, which would be detrimental of the application site and the character and appearance of the surrounding conservation area. In addition, proposed smooth render materials would also be unacceptable in this context."

We believe that our points previously raised above, address the concerns regarding the non-conformity, size / scale and unevenness of the proposed extension, in that it does not dominate the overall building and is of similar size / scale to previous approved extensions in the vicinity. The approvals for both extensions to 9 and 10 Inverleith Gardens state that although they occupy more than 50% of the width of the rear elevation (at lower level), this minor infringement is considered acceptable. The Council fails to demonstrate why this minor infringement on the smaller extension at No. 18 is not considered acceptable. The proposed extension is not out of character with the terrace, as the terrace does not maintain the regularity it once did due to previous additions.

Regarding the smooth render, we previously noted that 19 Inverleith Gardens (ref 08/02340/FUL) had a planning application approved to extend their kitchen area and they have used smooth white render. By using white render for the extension of 18 Inverleith Gardens, this would mirror the approved extension of 19 Inverleith Gardens, whilst respectfully complementing the white painted brick exteriors of the existing outbuildings.

The Assessment refers to Residential Amenity and states that:

"the proposed alterations could have a significant impact on neighbouring window of an existing outshot. However, the additional drawings have not been submitted in order to fully assessed the impact on daylight to neighbouring window".

Additional drawings were not submitted at the time of the application, as we were informed that the application would be refused regardless. We appreciate the requirement that a day light impact will need to be assessed and we are willing to address any concerns.

We would note that the rear elevation is South facing and that more than half of the rear garden / amenity spaces of No.17 Inverleith Gardens would be capable of receiving potential sunlight for more than two hours during the spring equinox. The property at No.17 would still maintain more than 50% of natural light to the outbuilding from the remaining openings not adjacent to the proposed extension. The solid wall construction of the extension between the properties at No. 17 and No. 18, means that privacy is not compromised to a greater extent than at present.

Other material Considerations:

Sustainable Development:

The assessment states that the proposal does not comply with the Scottish Planning Policy on Sustainable development.

The Council fails to confirm which of the thirteen principles of Paragraph 29 the proposals fail to meet. Whilst some of these may be relevant, given welcome advancements in building regulations to improve energy efficiency of extensions, the materials to be used in the new extension will significantly reduce wasted energy usage. Often the temperature of the existing

[Type here]

outbuilding (which currently contains the kitchen) is under 14°C in the morning. This is despite the central heating being on for a considerable period. Increasing the energy efficiency of the property could be argued to be compliant with a number of principles, including supporting climate change mitigation.

We now live in a world where hybrid working has become the norm, rather than the exception. We live in a more globalised world where parents (and grandparents) are no longer “around the corner”. As such, the clients have had to dedicate at least two bedrooms to be an office and a bedroom for visiting parents. The extension of the property is in response to macro global issues and certainly not for the sake of it. It allows the client to respond to the challenges and opportunities of life created due to the pandemic of 2020.

Equalities and Human Rights:

The report states that the proposals have been assessed in respect of section 149 of the Equalities Act 2010 along with consideration to human rights and that no impacts have been identified.

We would contest this assertion. In denying our client planning approval for their proposed extension we feel they have been discriminated against, especially given that similar (larger) rear extensions have been approved at 9 and 10 Inverleith Gardens. By refusing the planning application the council are not allowing our clients to enjoy / benefit from the same additional space and modern living, that is afforded the neighbouring properties

It is especially disappointing that the Council has not assessed the application against the HES Statement of Special Interest, whereby it should have been concluded that the outbuilding does not form part of the special interest of the building's character.

It is our firm belief that policy Env 4 and Env 6 are fully met. Policy Env 3 is not applicable.



**PROPOSED ALTERATIONS
& EXTENSION TO 18
INVERLEITH GARDENS,
EDINBURGH.**

SUPPORTING STATEMENT

88 Newhailes Crescent, Musselburgh.
EH21 6EG
t:07793816019 e:amdesign@live.co.uk

Existing Property:

No.18 Inverleith Gardens is a two storey house with accommodation at attic level. The property extends to three storeys on the rear. The house and gardens are located within the Trinity Area of Edinburgh. The property is Category B Listed and lies within the Inverleith Conservation Area.

The property is currently used as a private residence, with the rear area of the existing ground floor in need of upgrading and renovation. As such, this application proposes the careful and sensitive improvement, alteration and extension of the building, to make it suitable for contemporary family living. The proposals will help to ensure the life expectancy and utility of the building.



Front Elevation of 18 Inverleith Gardens



Rear Elevation of 18 Inverleith Gardens

Interior Alterations:

The rear shower room and window at lower ground floor level are to remain and will not be affected by the proposed works. The kitchen within the rear outbuilding, is to be removed and a new kitchen installed within the current dining room.

The existing opening between the kitchen & dining areas is to be enlarged, with new structural supports installed.

External Alterations / Additions:

It is the intention of the proposals to carefully respect the character and appearance of the existing context. No alteration work is being carried out to the front elevation, therefore the works will have no impact of the listed façade.

The proposed new rear extension is lightweight with extensive use of glass, creating a contrast with the heavy solidity of the existing masonry architecture.

This distinction brings a clarity to the design, maintaining the identity between the contemporary proposals and existing building.

The existing rear outbuilding walls are to be removed, along with a section of the pitched roof over. The majority of the existing hipped roof serving the outbuilding is to be retained, with suitable structural supports installed.

The removals will allow the construction of a single storey flat roof extension, forming a new family dining / living space, from which the owner can fully enjoy the aspects of the rear garden.

The existing opening between the kitchen and dining area is to be enlarged, forming new access into the proposed extension. To achieve this, a section of load bearing rear wall will be removed, along with the adjacent window serving the current dining room. New structural supports will be installed within the fabric of the existing building to maintain its integrity.

Neighbouring Extensions:

Garden room extensions have been carried out at No.9 & No.10 Inverleith Gardens. Both extensions are similar in form and material, to the proposals for No.18. Whilst being slightly wider along the rear elevation of the extension, the link section between the new and existing at No. 18 is reduced, so that the connection to the existing building has limited impact on the original facade.

In Conclusion:

The proposed extension is situated to the rear of the property, hidden from view due to the terraced layout of the existing buildings. The contemporary architectural design along with high quality materials / detailing, will assist in maintaining the functionality of the property. The proposals greatly improve the relationship between the interior and exterior spaces, providing an improved home suitable for modern family living.

notes:

Notes:
This drawing to be read in conjunction with all other relevant drawings issued by AM Design. All dimensions & levels to be checked on site and any discrepancies to be reported to AM Design



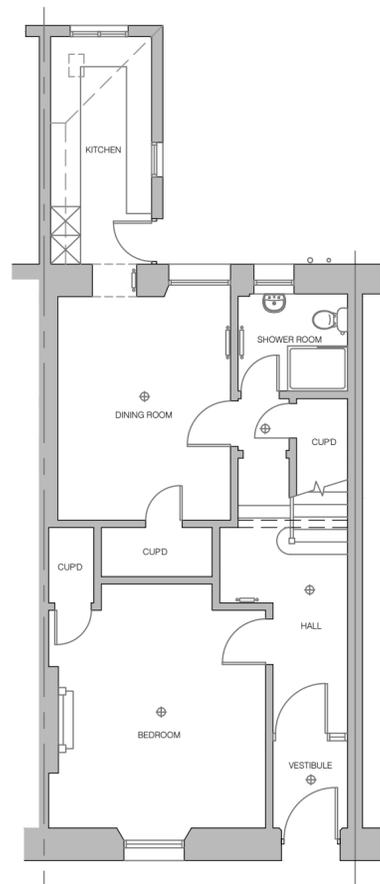
EXISTING REAR ELEVATION
(1:100)



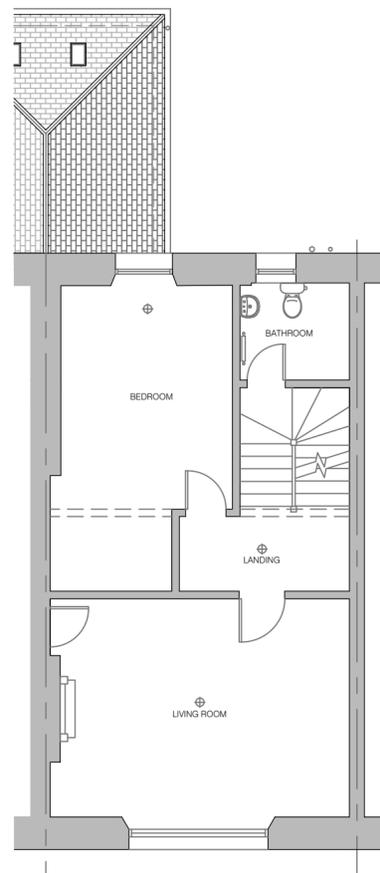
EXISTING GABLE ELEVATION
(1:50)



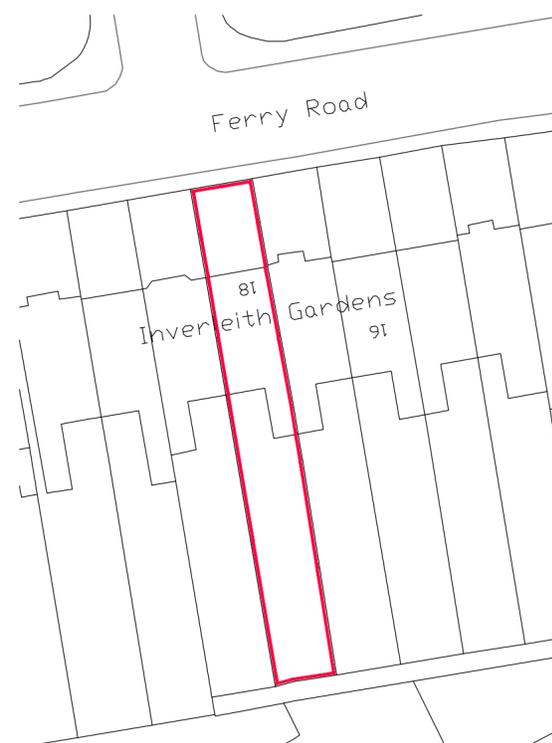
SITE LOCATION PLAN.
(1:1250) Indicates location of proposed site.



EXISTING GROUND FLOOR LAYOUT
(1:100)



EXISTING FIRST FLOOR LAYOUT
(1:100)



BLOCK PLAN.
(1:500)

rev.	date	amendment	by
issued for: Planning Permission			

AM DESIGN

88 Newhailes Crescent,
Musselburgh,
East Lothian.
EH21 6EG.

Tel: 07793816019
Email: amdesign@live.co.uk

© - THIS DRAWING IS THE COPYRIGHT PROPERTY OF AM DESIGN. NO COPYING OR DISTRIBUTION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT PRIOR WRITTEN PERMISSION.

THIS DRAWING IS FOR PLANNING / BUILDING WARRANT PURPOSES ONLY. ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS OR MANUFACTURING OF COMPONENTS.

ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF AM DESIGN - IF IN DOUBT, ASK.

client
Mr & Mrs Devlin

project title
Proposed Alterations & Extension to 18 Inverleith Gardens, Edinburgh. EH3 5PS.

sheet title
Existing Rear Elevation & Floor Layouts

engineer technician

scale 1:20 & 100 date Oct 2021

drawing number
21.27 - A01

notes:

Notes:
This drawing to be read in conjunction with all other relevant drawings issued by AM Design. All dimensions & levels to be checked on site and any discrepancies to be reported to AM Design

Material Specification:

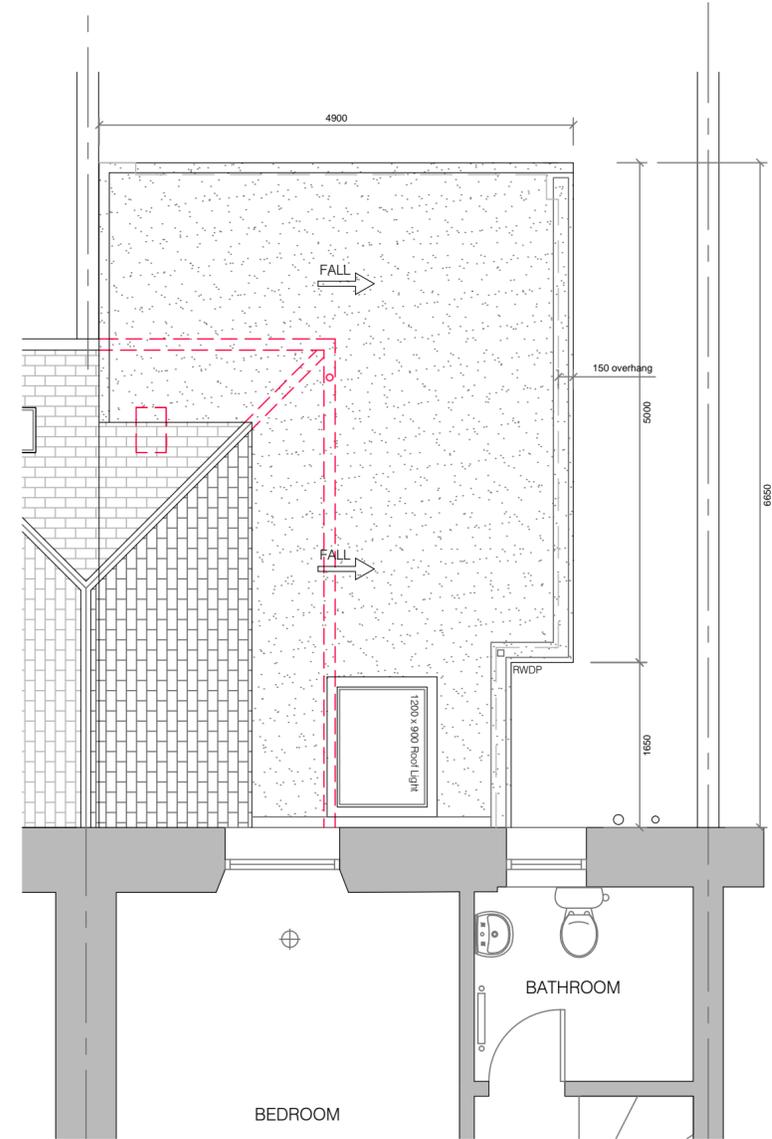
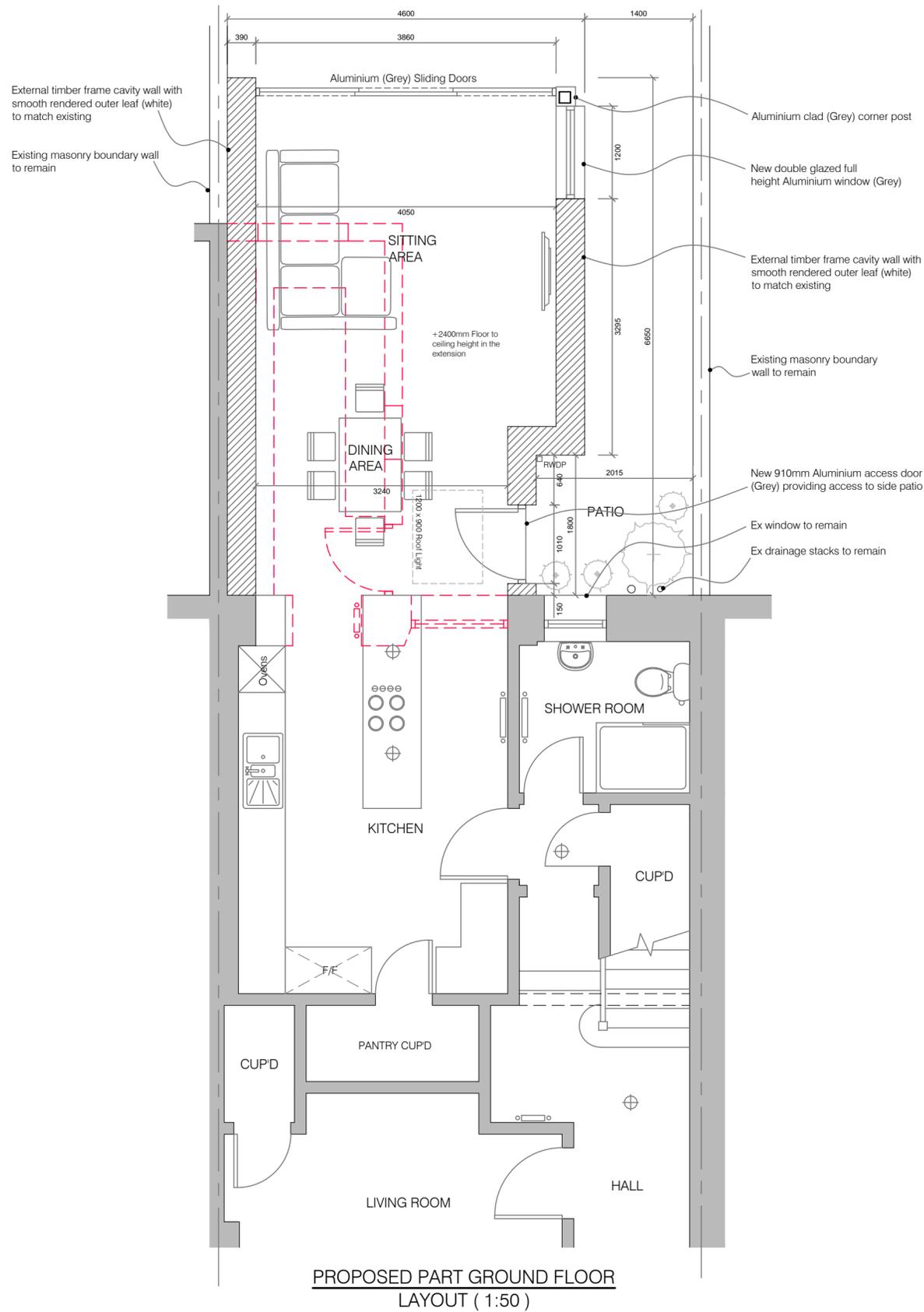
- External Walls:
- Rear & Gable Walls: Smooth Render (off white) on blockwork
 - Vented cavity
 - Insulated Timber frame + plasterboard internally with a skim coat of plaster finish

Smooth Render (off white) on renderlath to be used over rear doors and gable window

- Flat Roof:
- Single ply roof membrane (Grey) on insulation on Ply deck on cleveley pieces forming 1: 60 roof gradient, on roof joists with plasterboard internally & a skim coat of plaster finish

- Roof lights, Windows & Doors:
- Double glazed Aluminium Roof Light (Grey)
 - Rear double glazed (Grey) Aluminium sliding doors by Ekco or equal and approved, with adjacent aluminium clad corner post to match
 - Gable access door to be Ekco Spitfire S-200 series Aluminium (Grey) to match colour of rear sliding doors

- Gutter and Down Pipes:
- Hidden gutter detail formed using single ply membrane, discharging into Marley Alutec square downpipe on gable elevation
 - Marley Evoke Type C fascia and soffit boards (Grey) to match colour of new doors



rev.	date	amendment	by
issued for: Planning Permission			

AM DESIGN

88 Newhailes Crescent,
Musselburgh,
East Lothian.
EH21 6EG.

Tel: 07793816019
Email: amdesign@live.co.uk

© - THIS DRAWING IS THE COPYRIGHT PROPERTY OF AM DESIGN. NO COPYING OR DISTRIBUTION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT PRIOR WRITTEN PERMISSION.

THIS DRAWING IS FOR PLANNING / BUILDING WARRANT PURPOSES ONLY. ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS OR MANUFACTURING OF COMPONENTS.

ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF AM DESIGN - IF IN DOUBT, ASK.

client
Mr & Mrs Devlin

project title
Proposed Alterations & Extension to 18 Inverleith Gardens, Edinburgh. EH3 5PS.

sheet title
Proposed Extension Roof & Ground Floor Layouts

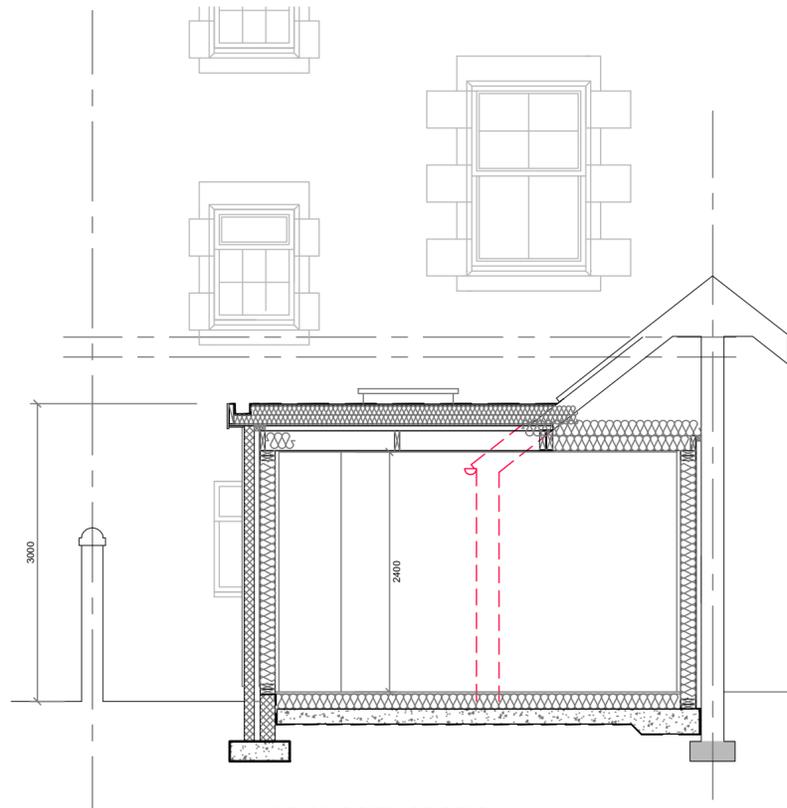
engineer | technician

scale 1:50 | date Oct 2021

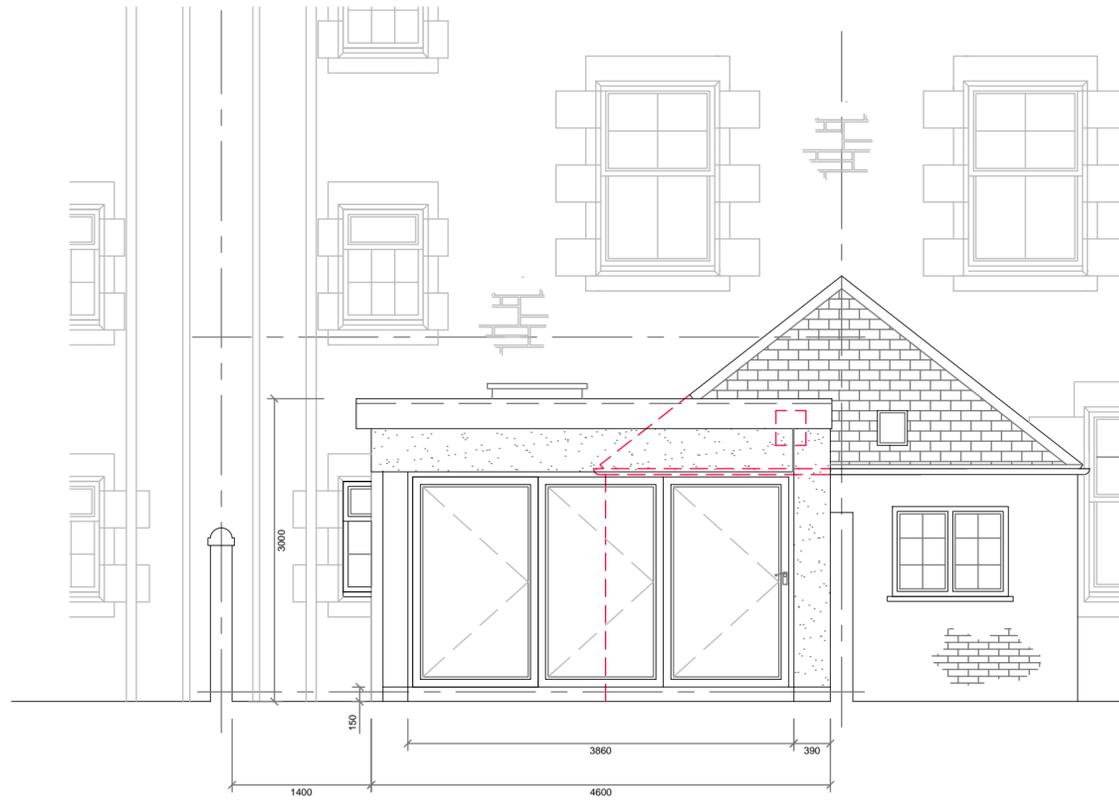
drawing number
21.27 - A02

notes:

Notes:
This drawing to be read in conjunction with all other relevant drawings issued by AM Design. All dimensions & levels to be checked on site and any discrepancies to be reported to AM Design



PROPOSED SECTION A-A
(1:50)



PROPOSED REAR ELEVATION
(1:50)

rev.	date	amendment	by
issued for: Planning Permission			

AM DESIGN

88 Newhailes Crescent,
Musselburgh,
East Lothian.
EH21 6EG.

Tel: 07793816019
Email: amdesign@live.co.uk

© - THIS DRAWING IS THE COPYRIGHT PROPERTY OF AM DESIGN. NO COPYING OR DISTRIBUTION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT PRIOR WRITTEN PERMISSION.

THIS DRAWING IS FOR PLANNING / BUILDING WARRANT PURPOSES ONLY. ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS OR MANUFACTURING OF COMPONENTS.

ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF AM DESIGN - IF IN DOUBT, ASK.

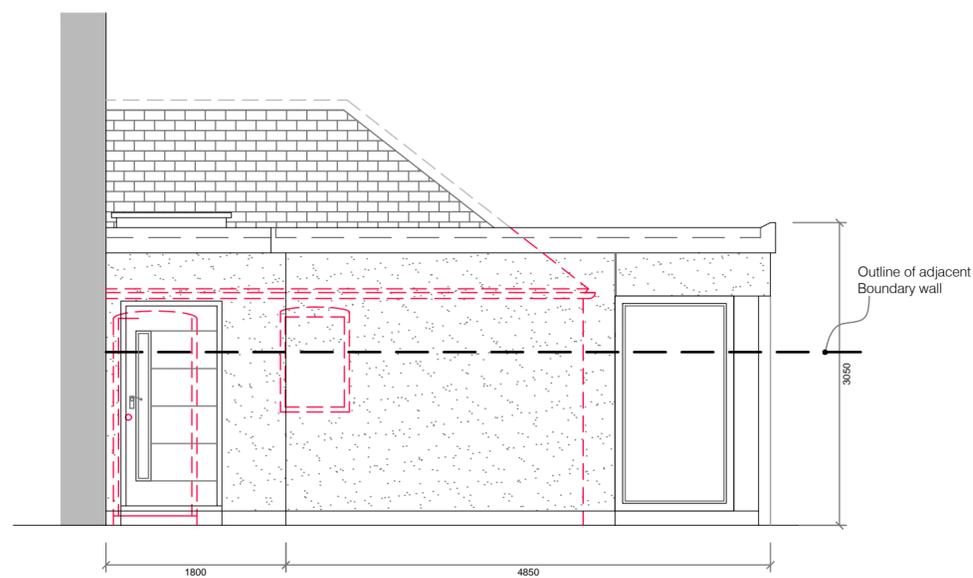
client
Mr & Mrs Devlin

project title
Proposed Alterations & Extension
to 18 Inverleith Gardens,
Edinburgh. EH3 5PS.

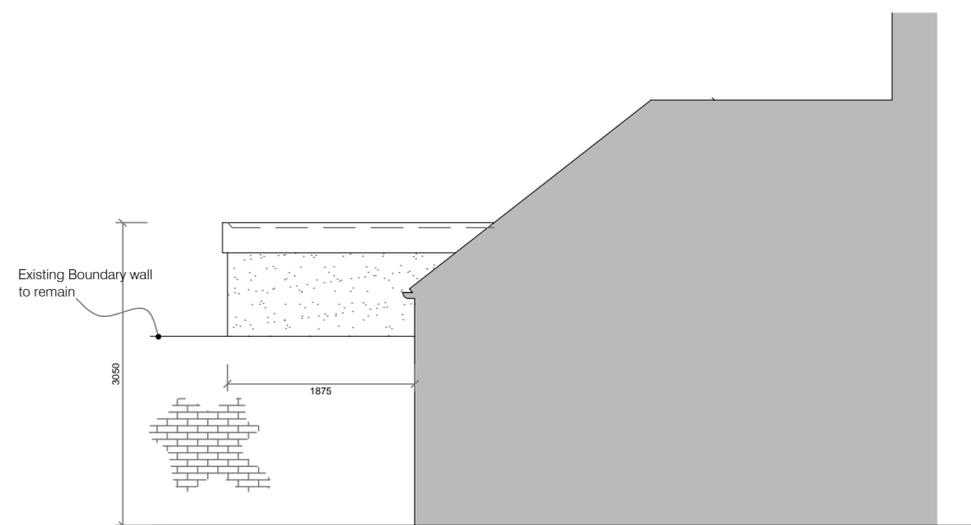
sheet title
Proposed Rear & Gable Elevations
+ Section A-A

engineer technician
scale 1:50 date Oct 2021

drawing number
21.27 - A03



PROPOSED GABLE ELEVATION - A
(1:50)



PROPOSED GABLE ELEVATION - B
(1:50)